



ARCHITECTURAL DESIGN GUIDELINES

REPORT NO. 1 DATED 04/09/2020

**OVERSTRAND MUNICIPALITY
DEPARTMENT: TOWN PLANNING
P O BOX 20, HERMANUS, 7200**

26 OCT 2020

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1. INTRODUCTION

- 1.1 The purpose of these design guidelines is to facilitate a cohesive architectural character with a unity of material and finishes ensuring that the development harmonizes with the surrounding suburban fabric.

The proposed style constitutes a modern contemporary Character. To achieve this, Architectural Guidelines have been drawn up as far as the use of materials and colours, the treatment of boundaries and the landscaping is concerned.

2. GENERAL NOTES

- 2.1 No building structure may be built unless the architectural design is compliant to these guidelines and has been approved by the HOA or its nominated architect.
- 2.2 The controlling authority for the development is the HOA who will be responsible for the scrutiny of all drawings for new dwellings, additions and alterations on behalf of the owner before the drawings may be submitted to council for approval.
- 2.3 A drawing scrutiny fee, as agreed between the HOA and its nominated architect, is payable to the nominated architect for this service, by the owner of the erf upon which construction is to take place.
- 2.4 The HOA reserve the right to amend these guidelines as the need arises. Amended guidelines must first be approved by the Local Authority.
- 2.5 The HOA is permitted to make minor deviations from these guidelines due to a special request by designers and for specific design elements related to the design. Such deviations are not intended to create a precedent and will be assessed on merit by the HOA. No such deviations which alter the design ethos of the development as a whole will be considered. The HOA decision on this is binding and final.
- 2.6 In matters where the design guidelines do not address a design proposal, or a difference of opinion regarding interpretation exist, the nominated architect will make a recommendation to the trustees in this regard who shall make a ruling which be binding and final.
- 2.7 Any future building alterations by a homeowner will also be subjected to the criteria and procedures established within the design guidelines.
- 2.8 No deviation from the approved plans will be permitted during construction. Deviations have to be approved by the nominated architect first.
- 2.9 The design guidelines are supplementary to the National Building Regulations and requirements of the Local Authority.

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3. DEFINITIONS AND INTERPRETATIONS

The following words shall, unless the context requires, have the meaning hereinafter assigned to them:

3.1 Abutments

For the purpose of these design guidelines, an abutment structure shall be seen as attachments to the primary structure. Abutments can consist of bedrooms, bathrooms, a kitchen and a double garage.

3.2 Association

The HOA of Mont Vue

3.3 Building envelope

For the purpose of these design guidelines, a building envelope shall be seen as the complete dwelling. This includes the primary structure, abutments and double garage.

3.4 Building works

The erection or, maintenance, alterations, renovations, repair, demolition or dismantling or additions to an existing dwelling on the property.

3.5 Design guidelines / Architectural guidelines

Means the design guidelines to control all aspects of design and landscaping of any development on the land.

3.6 Development

The erven as shown in figure 1

3.7 Dwelling / dwelling unit / building / building envelope:

Means the structure comprising the primary structure and its abutments

3.8 Erven / Erf

The residential erven resulting from the subdivision of erf 1926, and "erf" means any one of them. See figure 1

3.9 Primary Structure

For the purpose of these design guidelines, a primary structure shall be seen as the main living area structure. A primary structure shall consist of an entrance, living room, dining room and braai area, and may, in certain cases, also include the kitchen / scullery area.

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4. BUILDING PARAMETERS

Designers are to read these Guidelines in conjunction with the Overstrand Municipality Land Use Scheme 2020 which remains applicable.

The Building Lines of some of the erven take preference over the building lines as reflected in the Zoning Scheme Regulations. This is a condition of approval for the subdivision of the mother Erf 1926. Building Lines for each erf have been reflected in the guidelines, but designers are reminded to take into account all other applicable SANS regulations and Standards.

4.1 Single residential erven: (Erven greater than 400m²)
(Erven 2548, 2549, 2550, 2551, 2552, 2553, 2560, 2561, 2562, 2563)

4.1.1 Coverage:

The maximum coverage for all buildings on the land unit is determined in accordance with the net area of the erf as listed in the table below.

Nett erf area	Maximum Coverage
400m ² and greater	50%

4.1.2 Building lines

4.1.2.1 The street building lines are in line with the latest zoning scheme regulations.

4.1.2.2 The side and rear building lines are in line with the latest zoning scheme regulations.

Special notes: Applicable to same erven.

Erf 2548 (Unit 1 - 600m²)

Service and access servitude - 5.0m from 33.31m boundary line (refer to figure 1)

Service and access servitude - 3.0m from 17.84m boundary line (refer to figure 1)

Erf 2549 (Unit 2 - 600m²)

Service and access servitude - 3.0m from 18.00m boundary line (refer to figure 1)

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4.2 Group Housing (Erven less the 400m²) (Erfen 2554, 2555, 2556, 2557, 2558, 2559)

4.2.1 Coverage:

The maximum coverage for all buildings on the land unit is determined in accordance with the net area of the erf as listed in the table below.

Nett erf area	Maximum Coverage
Less than 400m ²	65%

4.2.2 Building lines

4.2.2.1 The street building lines are determined in accordance with the net erf area as listed below:

4.2.2.2 The side and rear building lines are determined in accordance with the net area of the erf as listed below:

Erf 2554 (Unit 7 - 351m²)

Street building line - 3.0m

Rear building line - 1.0m (as per the zoning scheme regulations, or as amended).

Eastern lateral building line - 1.0m (as per the zoning scheme regulations, or as amended).

Western lateral building line - 2.0m

Right of way servitude - 2.75m from 18.9 boundary line (refer to figure 1)

Erf 2555 (Unit 8 - 362m²)

Street building line - 4.0m (Garage building line) & 2.0m (Dwelling building line)

Rear building line - 1.0m (as per the zoning scheme regulations, or as amended).

Eastern lateral building line - 1.0m (as per the zoning scheme regulations, or as amended).

Western lateral building line - 2.0m

Right of way servitude - 2.75m from 18.39m & 9.45m boundary line (refer to figure 1)

Erf 2556 (Unit 9 - 420m²)

Street building line - 4.0m (Garage building line) & 2.0m (Dwelling building line)

Rear building line - 1.0m (as per the zoning scheme regulations, or as amended).

Eastern lateral building line - 1.0m (as per the zoning scheme regulations, or as amended).

Western lateral building line - 1.0m (as per the zoning scheme regulations, or as amended).

Erf 2557 (Unit 10 - 389m²)

Street building line - 4.0m (Garage building line) & 2.0m (Dwelling building line)

Rear building line - 1.0m (as per the zoning scheme regulations, or as amended).

North Western lateral building line - 1.0m (as per the zoning scheme regulations, or as amended).

South Eastern lateral building line - 1.0m (as per the zoning scheme regulations, or as amended).

Erf 2558 (Unit 11 - 381m²)

Northern building line - 1.0m (as per the zoning scheme regulations, or as amended).

Eastern building line - 2.0m

Southern building line - 2.0m

Western building line - 1.0m (as per the zoning scheme regulations, or as amended) (refer to figure 1)

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Erf 2559 (Unit 12 - 365m²)

Street building line - 4.0m (Garage building line) & 2.0m (Dwelling building line)

Rear building line - 1.0m (as per the zoning scheme regulations, or as amended).

Northern lateral building line - 1.0m (as per the zoning scheme regulations, or as amended).

Southern lateral building line - 2.0m

4.2.3 Height restriction:

8.0m In line with the zoning scheme regulations, or as amended.

Take note:

Garages may be constructed at 0m on one internal side boundary and 0m on the internal rear boundary, provided that the building does not occupy more than 50% of such internal side or rear boundary

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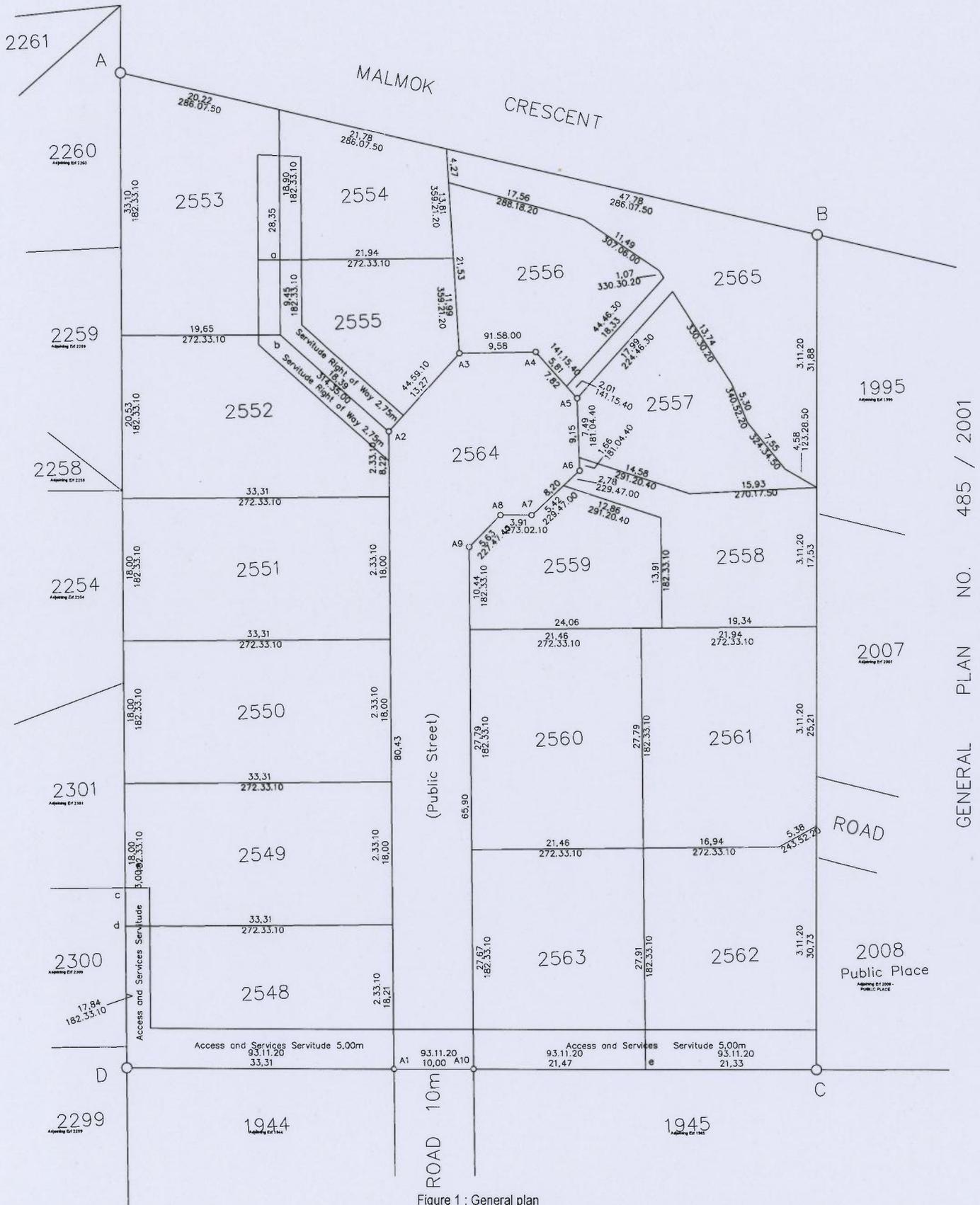


Figure 1 : General plan
Not to scale - for illustration only

GENERAL PLAN NO. 485 / 2001

5. BUILDING DESIGN PARAMETERS

The design of the dwelling unit or units and the entire stand must show sensitivity to the existing natural features, and topography.

The siting of the buildings and their proportions must not unreasonably affect the amenities of adjacent properties within the development. The HOA decision in this regard will be binding and final.

5.1 Dwelling footprint

Single and double storey dwellings are permitted although the Developer encourages single storey dwellings with the following configurations of elements where the size, shape of the erf allows for this:

- Primary structure comprising (but not limited to)
 - Living, dining and braai area which may include kitchen, scullery
- Abutments to the primary structure are not fixed or limiting in scale or proportion as the configuration of the erf will influence this
- Garages and patios will form part of, and complete the building footprint
- Plan form to be clean simple lines composed of rectangular square forms with minor elements following from this
- Dwellings are to constructed parallel to the orientation of the erven and development in general. No organically shaped walls and building will be permitted.

5.1.1 Primary structure

5.1.1.1 Single storey dwellings

- Vaulted ceiling or exposed trusses with raised wall plate level to incorporate the street facade elements reflected in Annexure A.

5.1.1.2 Double storey dwellings

- The street facade design elements must be incorporated in double storey dwellings. The scale and proportion of these elements to be adjusted to be in harmony with the intended design theme.
- Wallplate height of 1st story to be a maximum of 2.1m above FFL

5.1.2 Abutments

The Primary Structure will be expanded with abutments (pitched roof and, or flat roofs) as required to include mostly the bedrooms, bathrooms and garage areas.

Abutments are rectangular extensions to the primary structures and must be constructed with brick and plastered and painted or bagged and painted.

5.1.2.1 Abutments with pitched roofs:

- Wall plate level of 1st storey to be max of 2,1m above FFL

5.1.2.2 Abutments with flat roofs:

- Not permitted at 1st floor level
- Limited to single story when incorporated in double storey dwellings.

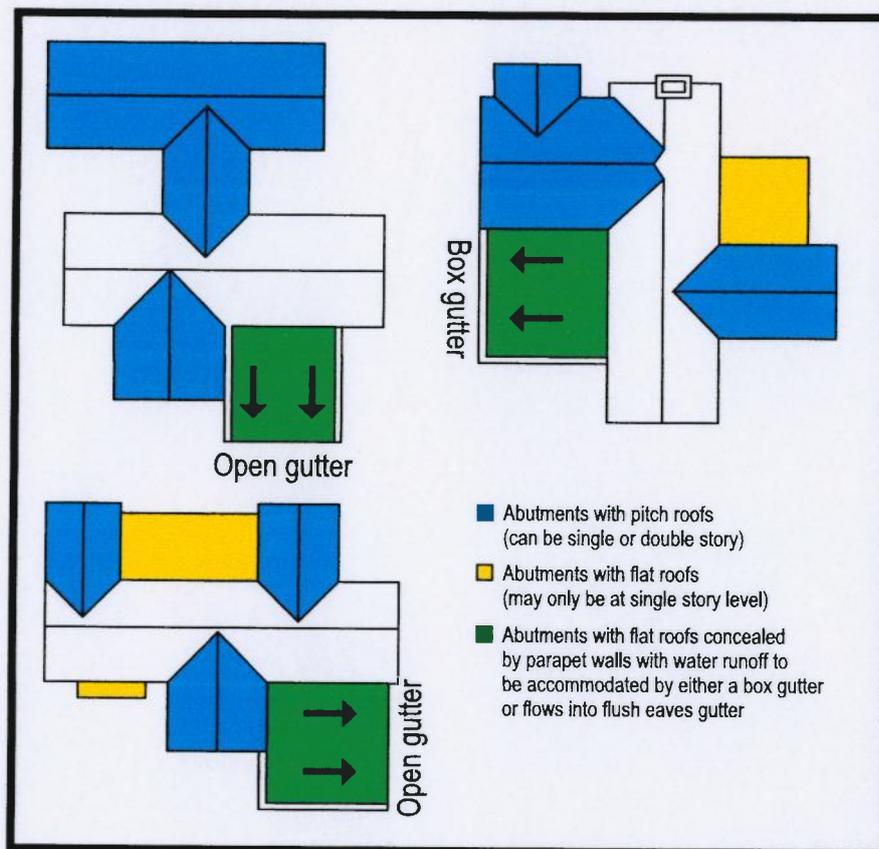


Figure 3 : Typical example of abutments to a primary structure
Not to scale - for illustration only

5.2 Building dimensions

5.2.1 Building width:

5.2.1.1 Primary structure

- The building width of a primary structure should ideally be between 4500mm minimum and 5500mm maximum, measured to the outside of the walls. These dimensions are however not prescribed and may be deviated from with HOA approval.

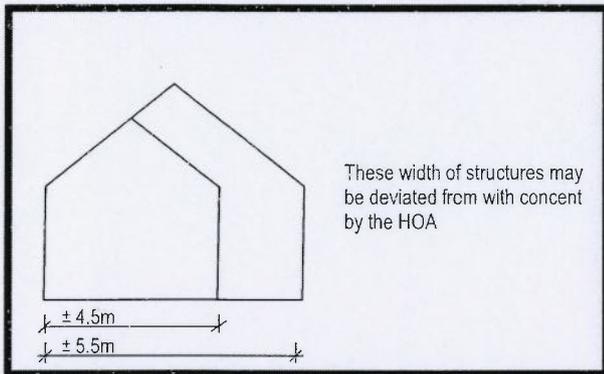


Figure 4 : Typical example of a building width of a single story primary structure
Not to scale - for illustration only

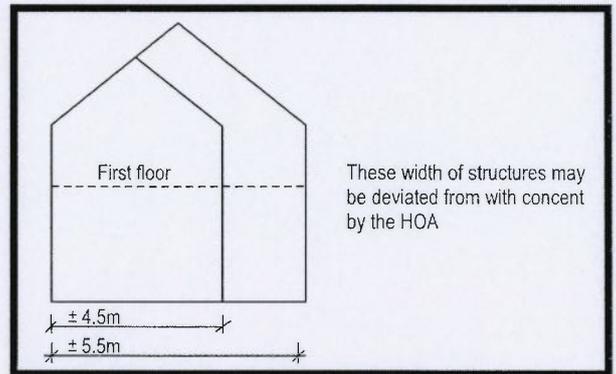


Figure 4 : Typical example of building width of a double story primary structure
Not to scale - for illustration only

5.2.1.2 Abutments

- The building width of the abutments in relation to a primary structure should where possible be secondary in scale. The HOA decision on this will be final and binding. Refer to figure 5.

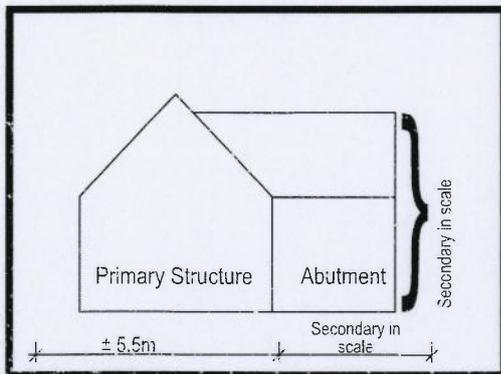


Figure 5 : Typical example of a single story abutment width
Not to scale - for illustration only

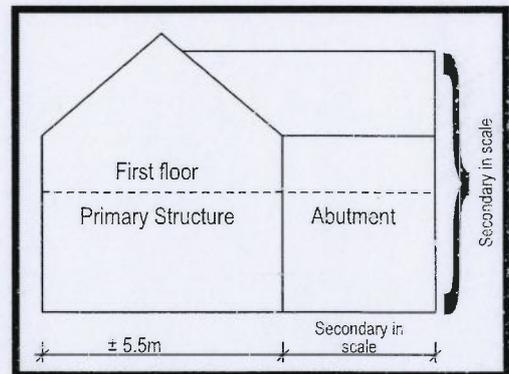


Figure 5 : Typical example of a double story abutment width
Not to scale - for illustration only

5.2.1.3 Garages

- The maximum width of a double garage element should be 6.5m, measured to the outside of the walls. The total maximum size of a garage must be secondary in scale to the habitable area of the dwelling.
- Where more than 2 garages are required. This will be permitted but is subject to the HOA decision and will be binding and final.

5.2.2 Building height:

The wall plate height of the primary structure must be in proportion and scale to the width and height of the single or double story element.

5.2.2.1.1 Primary structure:

- The architect / designer must take consideration of the overall width of the primary element and ensure that the wall plate height is in proportion to the overall height of the structure. The HOA decision in the regard will be binding and final.

5.2.2.1.2 Abutments:

- An abutment with a pitch roof shall have a wall plate height in proportion and scale to the primary structure.
- An abutment with a flat roof (only single story) must be lower than the eaves line of the primary structure or the abutment to which it attaches. This also applies to steep roofs.

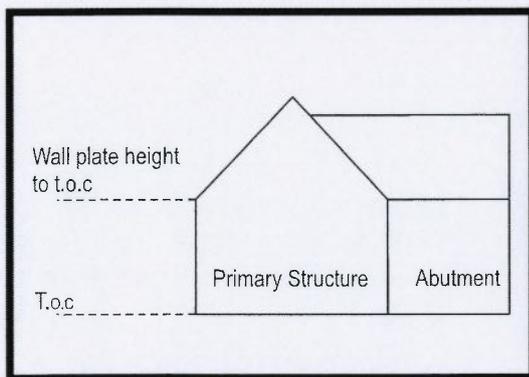


Figure 6 : Wall plate height of a single story primary structure and abutment with pitch roofs
Not to scale - for illustration only

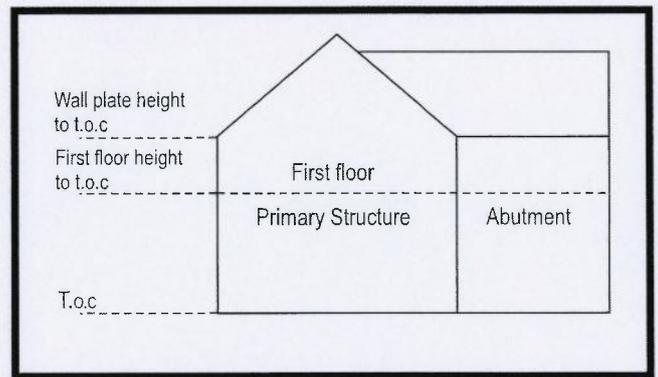


Figure 6 : Wall plate height of a double story primary structure and abutment with pitch roofs
Not to scale - for illustration only

5.2.2.1.3 Garages:

- Garage roofs to be concealed behind parapet walls. Parapet walls shall have a height of maximum 3.0m measured from the top of the concrete slab.

6. ROOFS

6.1 Roofs to primary structures

6.1.1 Roof pitch:

- Only double pitch roofs are allowed on primary structures. The roof pitch must be 30°. All double pitch roofs must have gable ends. (No hipped roof ends are permitted).
- Roofs of primary structure must have flush eaves and gable ends. See Annexure A.

6.1.2 Roof material and colour:

- Primary structures to be covered with Kliplock or Diamondek 406 Zincalume pre-coated roof sheeting.
- Permitted colour for roof sheeting:
 - Clean colourbond Ultra Az200 Alley Matt. No other colours will be permitted.

6.1.3 Gutters and downpipes

- Seamless aluminium Ogee profile gutters.
- Exposed visible downpipes to be extruded aluminium
- Colour of gutters and downpipes to match roof

6.2 Roofs to abutments and stoeps

6.2.1 Roof pitch:

- Double pitch roofs are permitted on abutments. The roof pitch should ideally be similar to the primary structure but may have a lower pitch in designs in order to comply with the Zoning Scheme Regulations. The HOA decision in this regard will be binding and final.
- Flat roofs may be constructed as described elsewhere. For the purpose of these guidelines, a flat roof shall be one with a gradient of between 1.5° to 5°.

6.2.2 Roof material and colour

- Abutment structures to be roofed with Kliplock or Diamondek 406 Zincalume pre-coated roof sheeting.
- Permitted colour for roof sheeting:
 - Clean colourbond Ultra Az200 Alley Matt. No other colours will be permitted.

6.2.3 Gutters and downpipes

- Seamless aluminium Ogee profile gutters.
- Exposed visible downpipes to be extruded aluminium
- Colour of gutters and downpipes to match roof.

6.3 Garage Roofs

6.3.1 Roof pitch

- Only flat roofs are permitted. Garage roofs should ideally be contained behind parapet walls on all sides and attached to the primary structure with an internal box gutter.
- Free flowing flat roofs, open on the gutter side will be considered. The HOA decision on this regard is binding and final.
- No other roof structures will be permitted.
- Flat roof may have a gradient of between 1.5° and 5°.

6.3.2 Roof material and colour

- Primary structures to be roofed with Kliplock or Diamondek 406 Zincalume pre-coated roof sheeting.
- Permitted colour for roof sheeting:
 - Clean colourbond Ultra Az200 Alley Matt. No other colours will be permitted.

6.3.3 Gutters and downpipes

- Internal box gutter.
- Exposed gutters to be seamless aluminium Ogee Profile.
- Exposed visible downpipes to be extruded aluminium
- Colour of gutters and downpipes to match roof.

7. CONSERVATORY STRUCTURES

- No conservatory structures will be allowed.

8. SKYLIGHTS, ROOFLIGHTS AND ROOF WINDOWS

- Skylights, rooflights and roof windows may be permitted in exceptional cases. In designs where the homeowner requires skylights, rooflights or roof windows, a formal proposal can be submitted for consideration to the HOA. The HOA decision in this regard will be binding and final.

9. DORMER WINDOWS

- No dormer windows will be permitted. In designs where the homeowner requires the inflow of natural light only high level (clerestory) windows will be permitted.
- When high level windows are considered, the windows shall have a horizontal proportion with the width of the window exceeding the height of the window
- High level windows to match the window colour of all other windows.

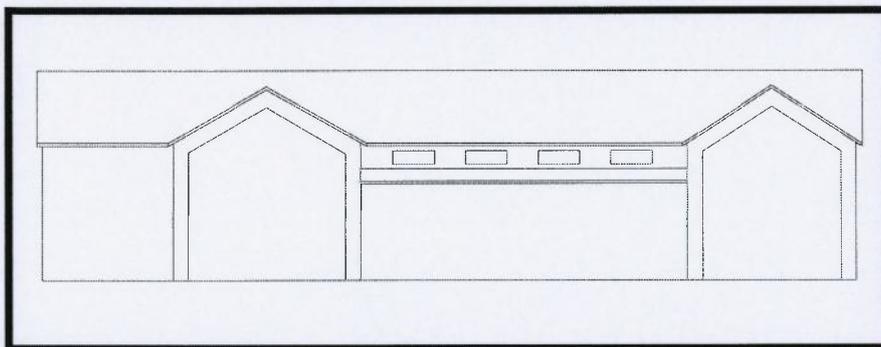


Figure 7 : High level windows
Not to scale - for illustration only

10. GABLE WINDOWS

- The gable end walls of a primary structure creates the opportunity for the use of gable windows.
- Gable windows are compulsory at all entrances. (As defined further in this document)
- Gable windows may also be incorporated at the opposite end of the primary structure and is encouraged similar to the gable window at the entrance. This window must be centered in the gable.
- Only triangular gable windows will be permitted.
- Gable windows to match the aluminium colour of the rest of the windows and doors.

- No gable windows at pitch roof abutments will be permitted.
- All gable windows shall be shown clearly on window schedules. The HOA reserve the right to amend the proposed windows if the need arises.

11. EXTERIOR WALLS

11.1 The following wall finishes will be allowed

- Only plastered and painted or bagged and painted walls will be permitted (smooth wood float finish).
- Plaster bands are encouraged around all doors and windows. Particular attention should be given to the proportion and scale of plaster panel designs around windows and doors as large plaster panels combining groups of windows and doors are encouraged.

11.2 The following wall finishes will not be allowed

- Natural stone cladding
- Face bricks
- Artificial cladding
- Unpainted bagged brickwork
- Metal sheeting cladding
- Fibre cement cladding
- Quoining plaster bands

11.3 Boundary walls

- Boundary walls are compulsory between erven but not on street boundaries.
- All boundary walls are to be completed in conjunction with the dwelling.

11.3.1 Boundary walls between erven and on rear boundary line:

- Boundary walls may have a maximum height of 1800mm, (measured from NGL) and drop down maximum 1.2m in height 4m from street boundary or in line with the footprint of the dwelling, whichever is the greater of the two.
- No vibracrete or pre-cast systems or **pre-manufactured** walls will be acceptable.
- All boundary walls must be plastered and painted on both sides.

11.3.2 Boundary walls on boundary lines with road frontage:

- Boundary walls on street boundaries (internal roads only) shall have a height of 1.2m and returned 4m or up to the footprint of the dwelling whichever is the greater.
- No vibracrete or pre-cast systems or pre-manufactured walls will be acceptable.
- All boundary walls must be plastered and painted both sides.

11.3.2.1 Pedestrian Gate

- All boundary walls adjoining the road shall have a gate similar to Annexure D.
- Colour of gate frame to - Galvanised frame to be unpainted.
- Galvanised steel gate shall have a width of approximate 900mm (including support and receiving post) and a height of maximum 1.2m.
- Gates to be shown clearly on door schedules.
- No other gates will be permitted.

11.3.2.2. Galvanised driveway steel gates

- Where the shape of erven allow for driveway gates, the design of the gate must resemble a gate similar as shown on Annexure D.
- Colour of gate frame - Natural galvanised finish.
- Galvanised steel gates must be similar in height to the street facing boundary wall.
- Gates to be shown clearly on door schedules.
- No other gates will be permitted.
- The HOA reserves the right to amend the proposed position of the steel gate if the need arises.
- The HOA decision in this regard will be binding and final.

11.3.2.3 Post boxes (compulsory)

- Only polished stainless steel letter boxes with a stainless steel face plate will be permitted (only the stainless steel plate visible) Similar to Annexure D.
- No freestanding or themed letter post boxes will be permitted.
- All letter boxes to be installed to the left of pedestrian gate, as shown on Annexure D.

11.3.2.4 Unit numbers

- House numbers shall be 150mm in height and only "Arial" font is permitted.
- Colour to be charcoal.
- No stylised house numbers and numbers will be allowed.

12. IMPORTANT DESIGN ELEMENTS

12.1 Entrances

- Particular attention to be given to the entrance facade (Primary structure) of each dwelling.
- See annexure A and do not deviate from this design.
- Particular attention should be given to:
 - Triangular gable window above concrete slab
 - Entrance door (front door)
 - Concrete roof over entrance door
 - Entrance door side windows
 - Size and proportion of vertical timber posts
 - Size and proportion of steel posts
 - All dimensions including heights
 - Materials

12.2 Gable and double pitched roof abutments

- Particular attention should be given to the gable end of double pitched roof abutments. See Annexure B.

13. WINDOWS AND DOORS

13.1 Windows

- Only rectangular shape windows with the vertical dimension exceeding the horizontal dimension are permitted.
- The only windows where this rule does not apply, is for the high level (clerestory) windows as mentioned in 9 page 14.
- Triangular gable windows are compulsory at the entrance facade and may be incorporated at the opposite end of the primary structure, similar to the gable window at the entrance.
- All windows to be arranged symmetrically within the gable facade.
- Top hung windows are encouraged but other window configurations will also be considered.
- All window frames must be powder coated aluminium. Colour to be ANP 3055 matt charcoal
- Not permitted:
 - Winblock or other pre-cast concrete windows, glassblock windows or lead windows with diamond pattens
 - Coloured or mirror glass and / or films
 - Bay windows
 - Burgular bars which are mounted externally.

13.2 Doors

13.2.1 Entrance doors

- Entrance doors shall be natural timber and the design similar to annexure A. Do not deviate from this.

13.2.2 Garage doors

- As defined further in this document.

13.3 Awnings of any material, fixed retractable or otherwise, may not be mounted to, or above, any window or door.

14. PERGOLAS

- Pergolas may be incorporated at stoeps but are compulsory above garage doors (refer to annexure C).
- Pergolas are to be constructed in either natural or stained timber (colour of stain to HOA colour pallet) with similar materials for the posts. No shade cloth or polycarbonate covering will be permitted on top of pergolas.

15. CHIMNEYS AND BRAAIS

- Chimneys are not to extend more than 1.2m above the eave's height, unless motivated by the designer and approved by the HOA.
- The design of chimneys are to the discretion of the Designer, but simple rectangular shapes are preferred. No Cape Dutch style sloping and curved chimneys will be considered.
- Chimneys must be painted to match the walls of the house.

16. SWIMMING POOLS

- Consideration for privacy must be given to the position of the pool.
- Pool filtration to be screened and enclosed from view from adjoining properties and all road ways. Take particular care with the placement of pool pumps and heat pumps with regards to the noise disturbance to neighbours.
- Pool fencing and pool safety must comply with SABS0400 Part D.
- No "porta pools" are permitted.

17. GARAGES

- Garages constructed on the common lateral or rear boundary, must conform to the Zoning Scheme parameters.
- Garage roofs - See 5.3 page 10.
- Garage doors to be purpose made sectional overhead double Aluzink garage doors with horizontal slates. Colour to be ANP 3055 Matt Charcoal.

18. SERVICES

18.1 Television aerials and satellite dishes

- Television aerials and satellite dishes should be fitted below the primary structure eaves line and not in view from internal road. Where this is not possible consideration should be given to adjoining properties.
- Satellite dishes must be of a white composite material.
- No radio HAM areal structures will be allowed.

18.2 Air conditioning units

- Air conditioners and or heat pumps may not be visible from the roads and should be accommodated within the kitchen yard space or concealed behind screens.
- Where this is not possible, it should be placed within a purpose made aluminium louver structure or a structure resembling the finish of the gates.

18.3 Gas cylinders, refuse bins and clothes lines.

- Gas bottles, refuse bins and clothes lines to be stored out of view from any road.
- Gas bottles to be enclosed within a lockable galvanised cage and must conform to all gas regulations.

18.4 Alternative energy

- Installation of gas geysers and solar panels is encouraged and must conform to part XA of the SANS 10400.
- Storage cylinder for Solar heating may not be placed on the road.

18.5 Rainwater goods

- The size, siting colour and type of all rainwater tanks must be subject to review. Written permission will have to be obtained from the HOA before installation.

18.6 Plumbing

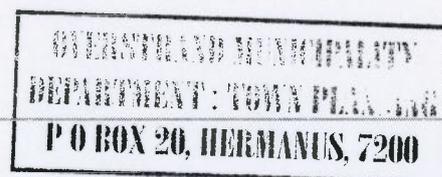
- Exposed plumbing other than ground floor stub - stacks is discouraged. If plumbing is to be exposed, it must not be visible from road.

19. LANDSCAPING

- Hard landscaping surfaces, i.e. brick paving, tiling, etc. around houses should ideally not cover the entire site.
- No temporary structures are permitted within an erf garden, including wendy houses.
- Gardens are to be kept tidy at all times.
- Vacant erven must be kept clean of trees, weeds or any other rubbish according to the Municipal By - Law Stipulations.

20. DRIVEWAYS

- Only Flamed Granite Econo Cobbles (120 x 120 x 40mm) charcoal as supplied by Cape Stone may be used for driveways, walkways and other paved areas.



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21. COLOURS

- External colours must be shades of grey. Similar colours outside of the specified range will be considered in exceptional cases only. Colour samples to be presented to the HOA for approval.
- The following "Dulux" colours are recommended and may be revised by the HOA from time to time.

Colour	Code
Ghost Grey	17GY 68/005
Alloy Touch	21BG 45/002
Snow Field	00NN 72/000
Universal Grey	00NN 62/100
Veil	00NN 53/000
Light Charcoal	88BG 62/005
Silky Stone	49GG 52/001

- All surfaces for painting must be properly prepared.
- Primary structure and its abutments may be painted with two colours if so desired.
- Boundary walls to be painted with a colour to be determined by the HOA.
- Where 2 colours are preferred the colour of the walls and plaster bands should be carefully considered and in harmony.

22. BUILDING PLAN SUBMISSION

- The following must be adhered to before building plans will be considered for inspection.
- 22.1 A plan scrutiny fee is payable on submission of plans to the appointed consulting Architectural firm.
- 22.2 A building performance deposit must be paid to the HOA before construction commences and it will be held in trust (interest free) by the HOA.
- 22.3 The deposit amount will be used in the event of a breach of **non-performance** to remove rubble or make good any damage caused by the contractor or his sub-contractors or suppliers, including kerbing, landscaping, community services, roads, irrigation etc. and for any outstanding spot fines (when applicable).
- 22.4 The building performance deposit shall be released by the HOA subject to the submission to the Architect the Local Authority's Certificate of Completion and Occupancy and shall only be refunded within 14 days once all of the above documents are correctly completed and submitted. The HOA is not to release the deposit without the approval of the HOA or Architectural Consultant.
- 22.5 All plans necessary for Council approval must be submitted together with an extra rendered paper copy to be kept for record purposes by the HOA. Plan approval fees, is for the owners own account.

22.6 The following items must be clearly shown on the plans:

- A fully coloured site plan, floor layouts, sections and elevations.
- Area calculations reflecting separately the following:
 - Habitable areas
 - Garage
 - Covered patios
 - Open patios
 - Paved areas
 - Landscaped areas
- Coverage (%)
- Topographical survey with 0.5m contours done by a professional Land Surveyor. All levels to be reflected clearly on sections and elevations.
- Correct building lines
- All external finishes including colour specifications
 - If colours and materials / finishes are not available with submission, a full colour palette to be submitted to the HOA prior to orderings of any relevant materials or finishes.
- Boundary wall details including elevations.
- Drainage layout and how drainage will be concealed from view from the roads.
- Positions of driveway reflecting road reserve and extent of paving outside boundary erf.

23. RESPONSIBILITY

23.1 This document is to be read in conjunction with:

- The Regulations and Code of Conduct Governing "Building Contractor Activity"

23.2 This document is considered supplementary and does not take precedence over:

- Any claims in the sales agreement
- Any statutory requirements.

23.3 The HOA; in evaluating the aesthetics of submissions will not take responsibility for technical, structural, health and safety standards or for non-compliance with any statutory requirements.

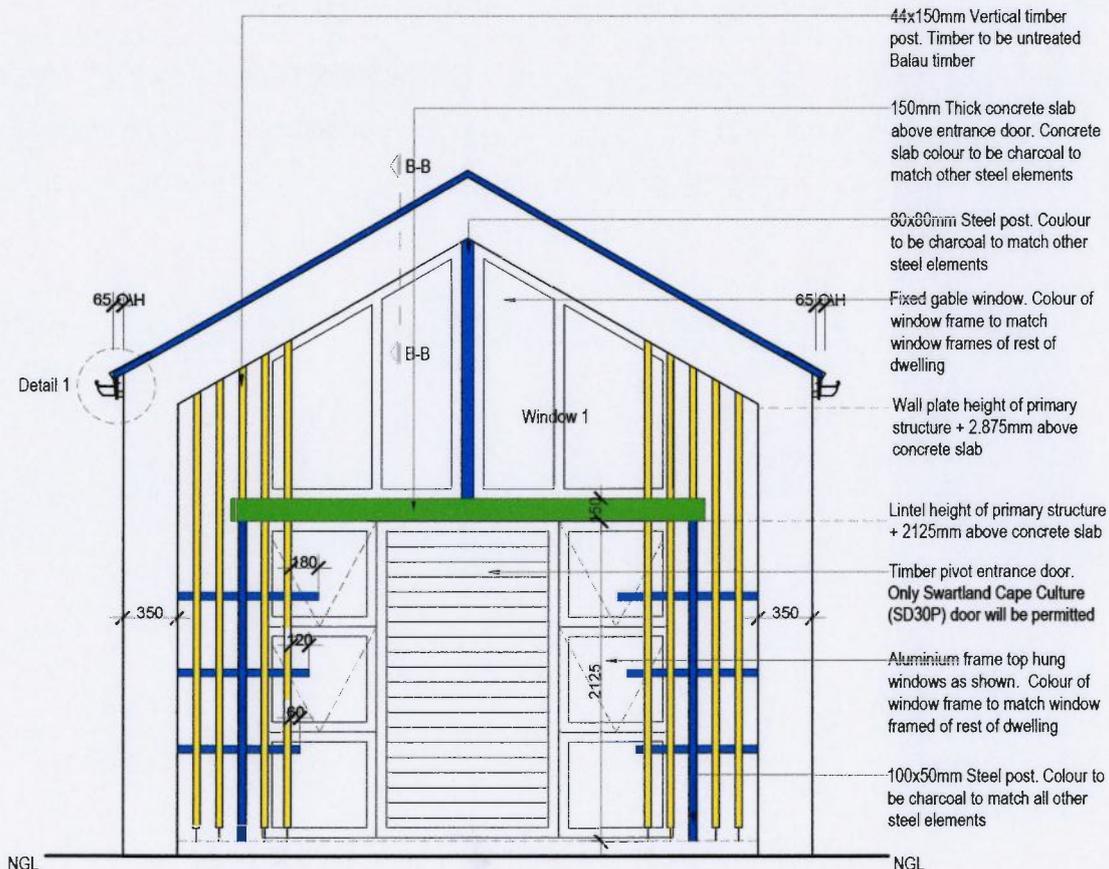
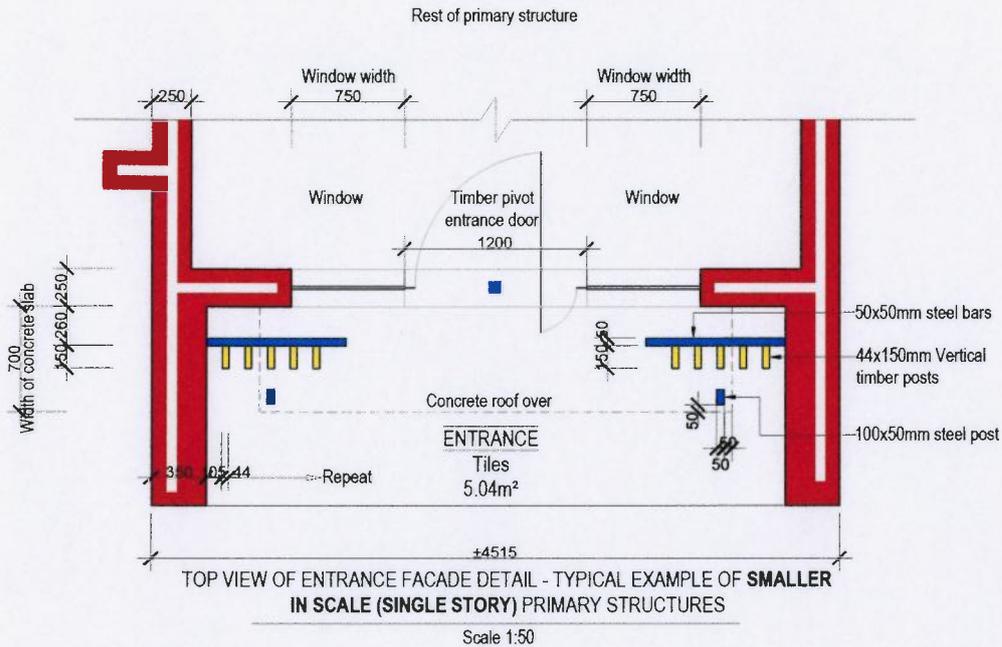
23.4 Any decision by the HOA shall be final and binding on all parties.

23.5 The above document must be fully understood and the contractor and owner undertake to comply with the above points, in addition to any further controls which may be instituted by the HOA of the developer from time to time in the form of a written notification and to ensure compliance by any subcontractors employed by the contractor, and any suppliers to either contractors, subcontractors or owners.

23.6 In the case where the property is sold or leased, the seller or lessor must ensure that the buyer or lessee receives a copy of these guidelines and that is binding on the buyer or lessee.

23.7 These guidelines do not absolve the house owner from complying with the National Building Regulations and the requirements of the Local Authority. Approval of the drawings by the HOA does not absolve the owner from complying with the standards set by the Architectural Guidelines.

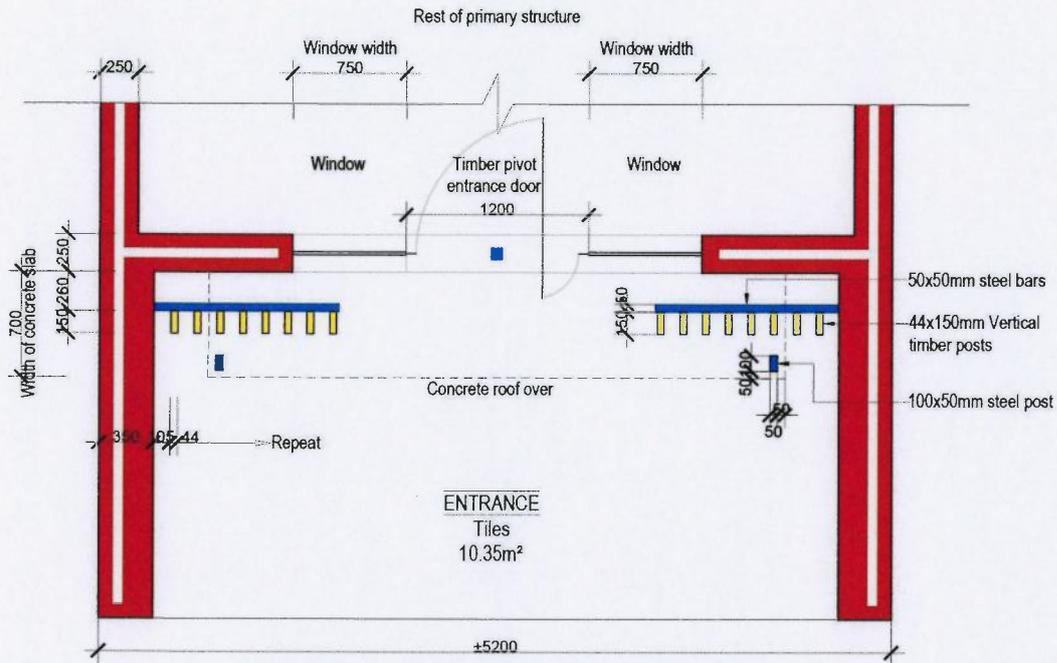
24. ANNEXURE A.1



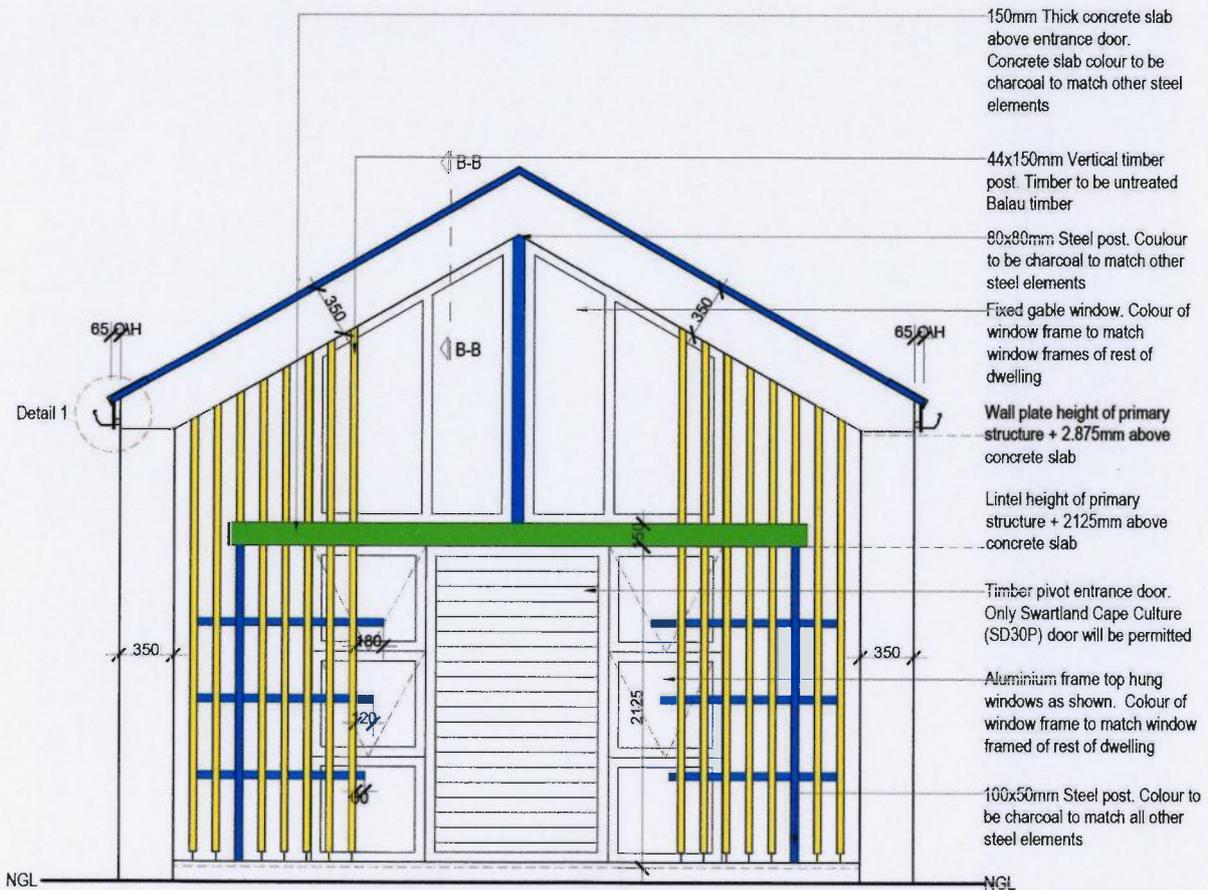
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24. ANNEXURE A.2



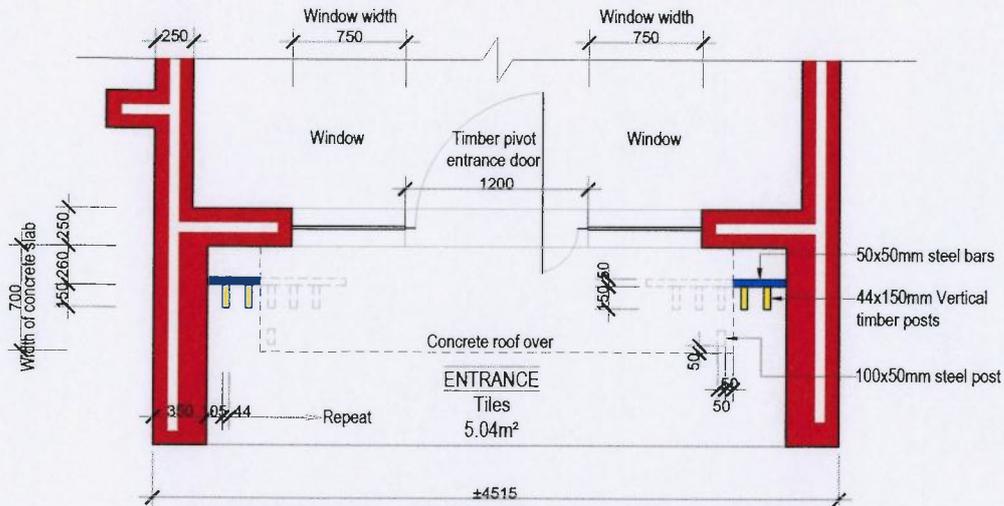
TOP VIEW OF ENTRANCE FACADE DETAIL - TYPICAL EXAMPLE OF **BIGGER IN SCALE (SINGLE STORY) PRIMARY STRUCTURES**
Scale 1:50



FRONT VIEW OF ENTRANCE FACADE DETAIL - TYPICAL EXAMPLE OF **BIGGER IN SCALE (SINGLE STORY) PRIMARY STRUCTURES**

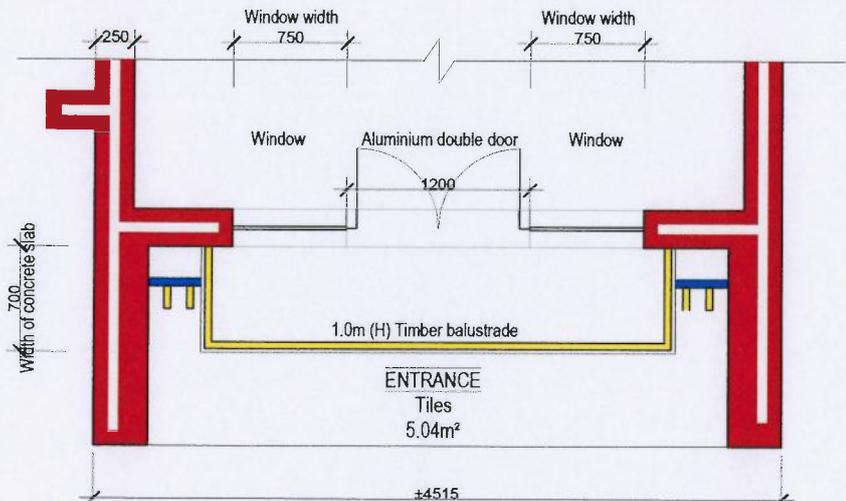
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24. ANNEXURE A.3



TOP VIEW OF ENTRANCE FACADE DETAIL - TYPICAL EXAMPLE OF **SMALLER IN SCALE (DOUBLE STORY) PRIMARY STRUCTURES - GROUND FLOOR**

Scale 1:50



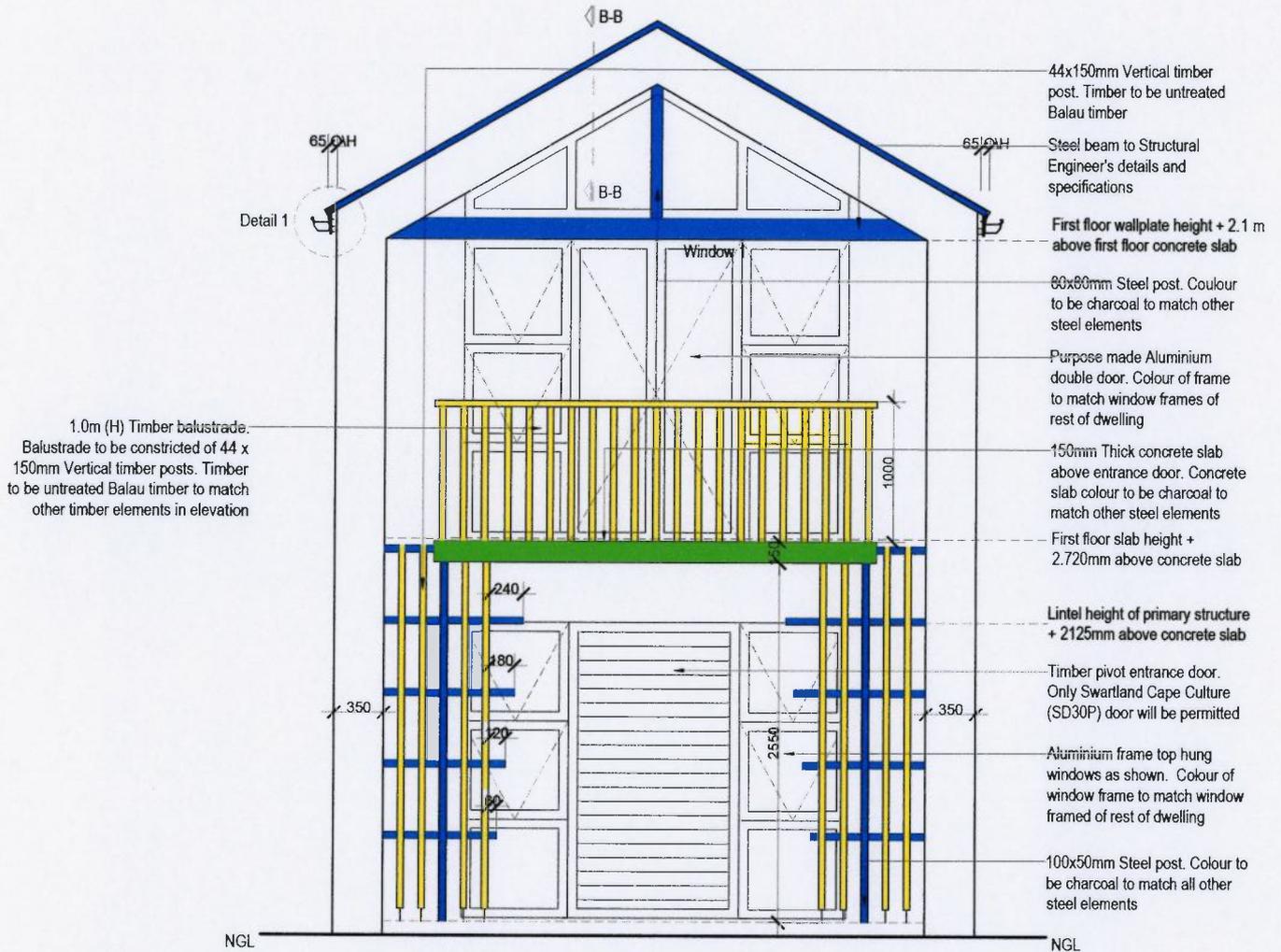
TOP VIEW OF ENTRANCE FACADE DETAIL - TYPICAL EXAMPLE OF **SMALLER IN SCALE (DOUBLE STORY) PRIMARY STRUCTURES - FIRST FLOOR**

Scale 1:50

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24. ANNEXURE A.3



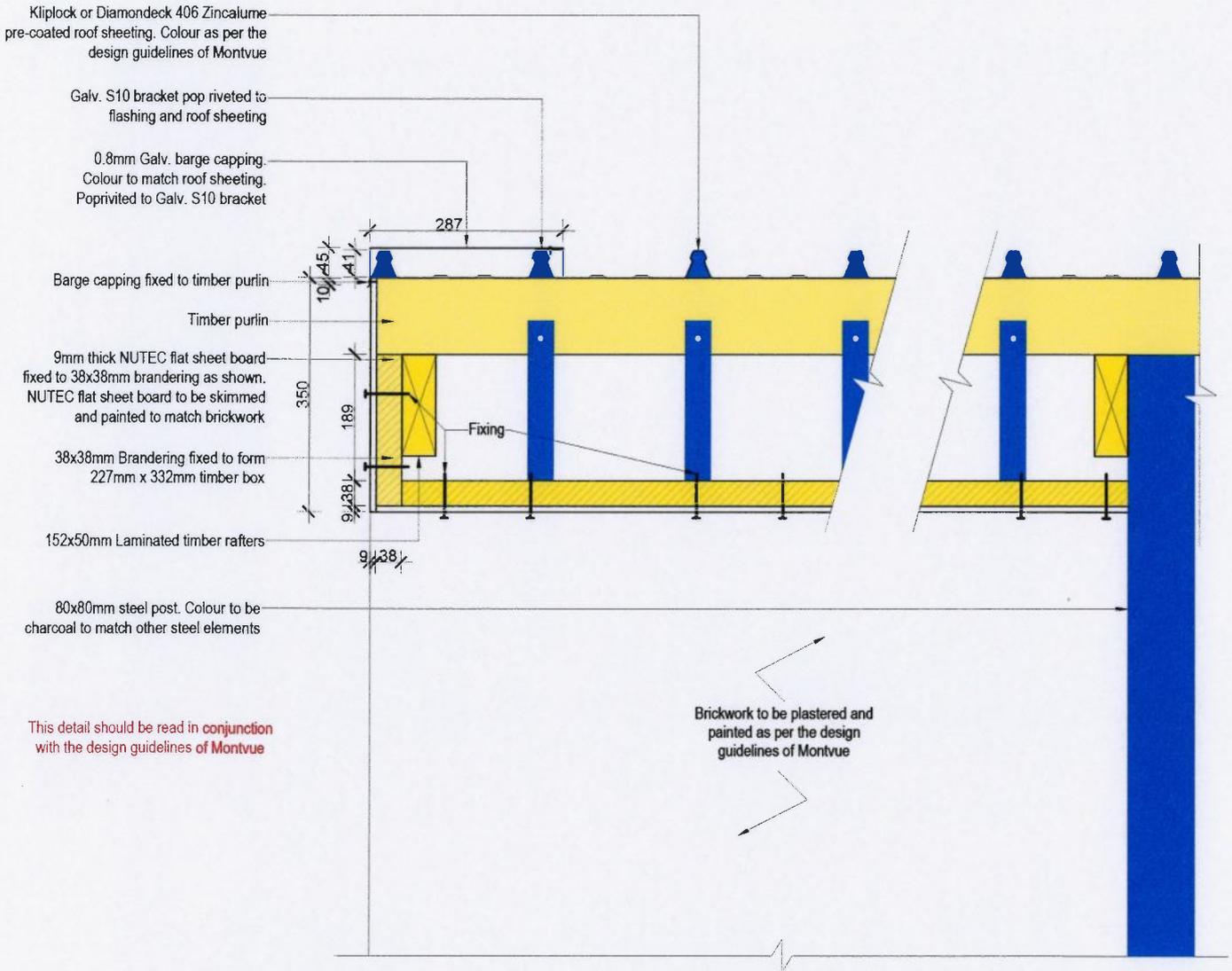
FRONT VIEW OF ENTRANCE FACADE DETAIL - TYPICAL EXAMPLE OF SMALLER IN SCALE (DOUBLE STORY) PRIMARY STRUCTURES

Scale 1:50

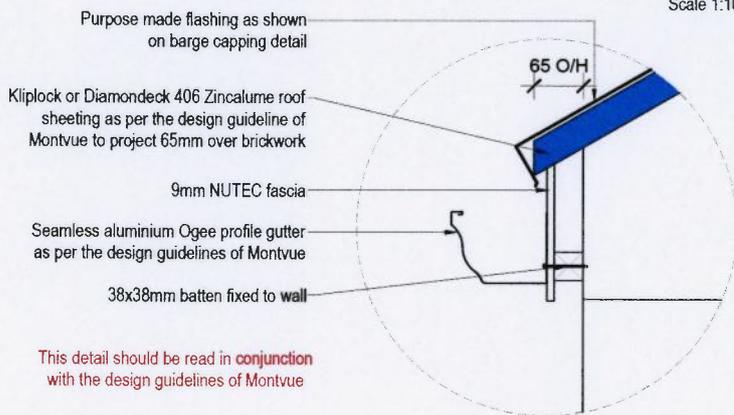
OVERSTREET MUNICIPALITY
 MUNICIPAL ENGINEER: MONT VUE
 PO BOX 20, BIRKENHEAD, 7200

26 OCT 2020

25. ANNEXURE A.4

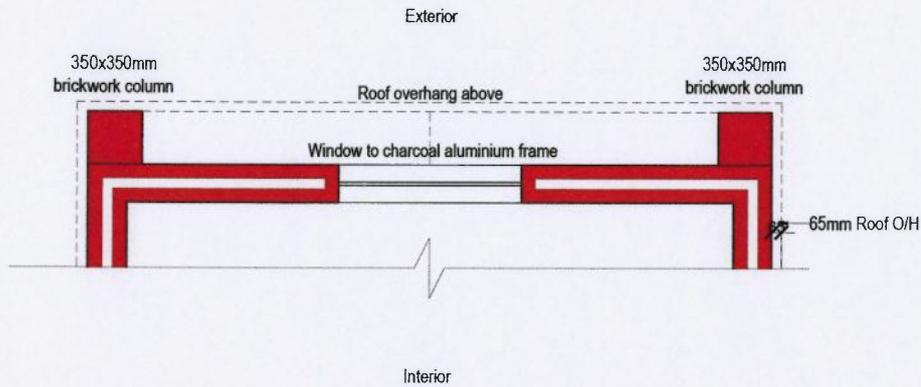


SECTION B-B
Scale 1:10



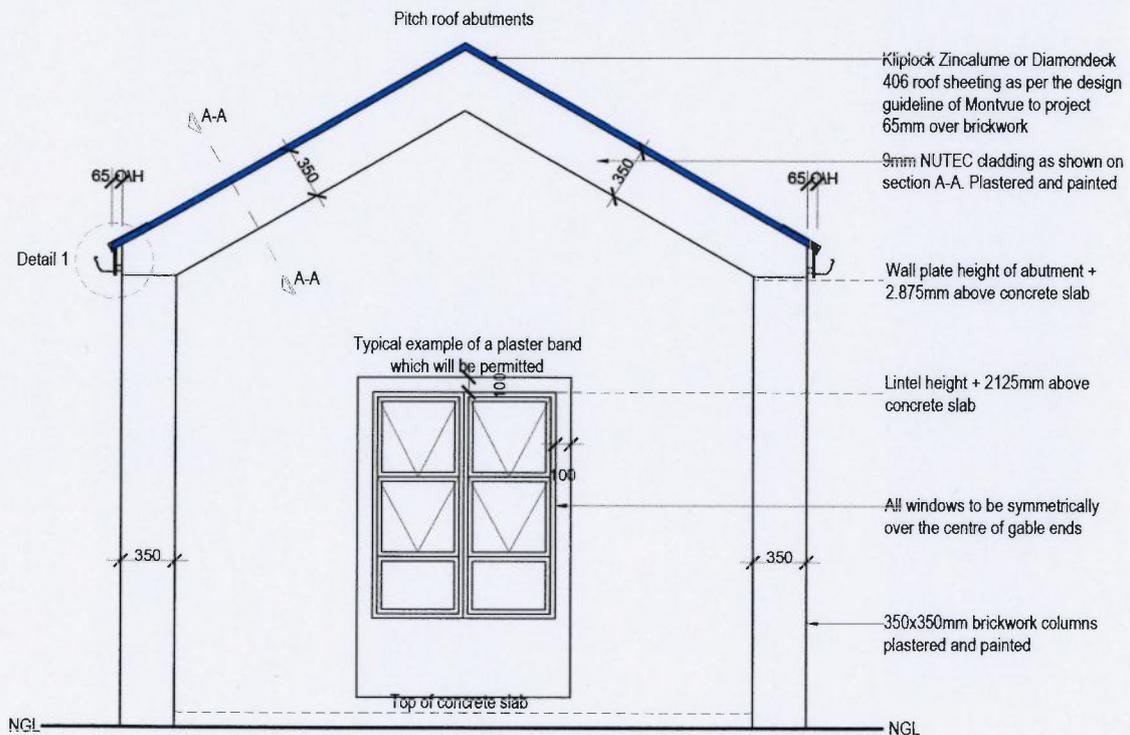
DETAIL 1 - FASCIA DETAIL
Scale 1:10

25. ANNEXURE B.1



TOP VIEW OF A SINGLE STORY ABUTMENT GABLE

Scale 1:50



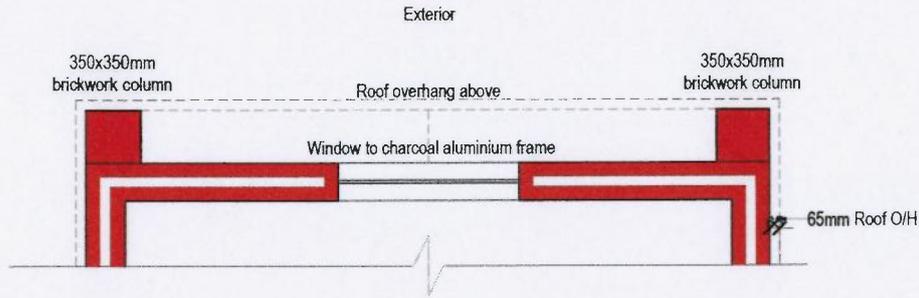
FRONT VIEW OF A SINGLE STORY ABUTMENT GABLE

Scale 1:50

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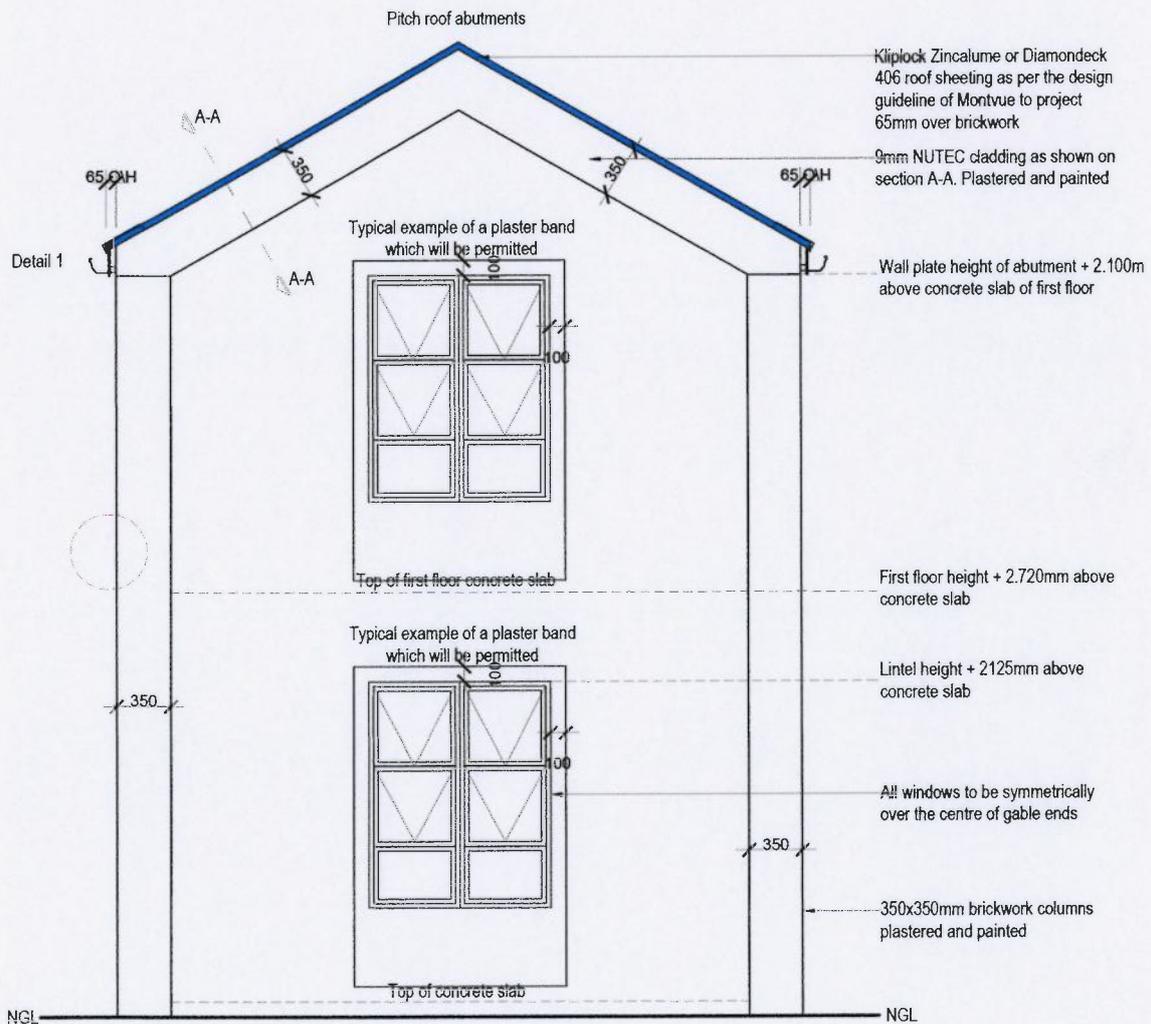
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25. ANNEXURE B.2



TOP VIEW OF A DOUBLE STORY ABUTMENT GABLE

Scale 1:50



FRONT VIEW OF A DOUBLE STORY ABUTMENT GABLE

Scale 1:50

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25. ANNEXURE B.2

Kliplock or Diamonddeck 406 Zinalume pre-coated roof sheeting. Colour as per the design guidelines of Montvue

Galv. S10 bracket pop riveted to flashing and roof sheeting

0.8mm Galv. barge capping. Colour to match roof sheeting. Poprivited to Galv. S10 bracket

Barge capping fixed to timber purlin

Timber purlin

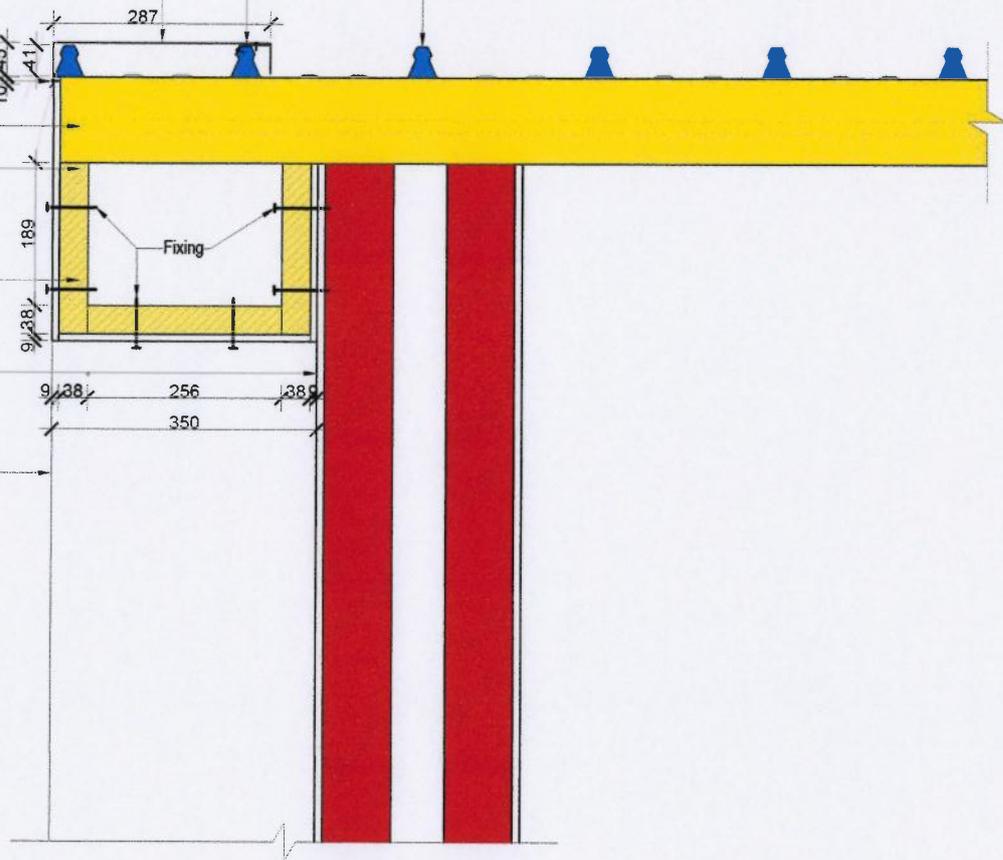
9mm thick NUTEC flat sheet board fixed to 38x38mm branding as shown. NUTEC flat sheet board to be skimmed and painted to match brickwork

38x38mm Branding fixed to form 227mm x 332mm timber box

250mm thick Maxi brick wall plastered and painted as per the design guidelines of Montvue

350x350mm Maxi brick column plastered and painted. Colour as per the design guidelines of Montvue

This detail should be read in conjunction with the design guidelines of Montvue



SECTION A-A
Scale 1:10

Purpose made flashing as shown on barge capping detail

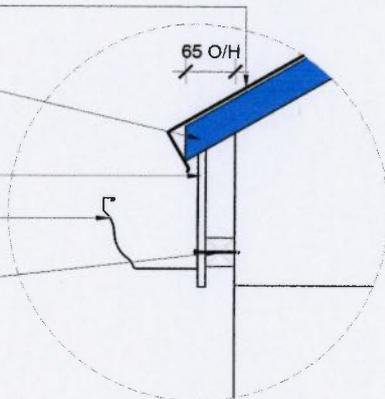
Kliplock or Diamonddeck 406 Zinalume roof sheeting as per the design guideline of Montvue to project 65mm over brickwork

9mm NUTEC fascia

Seamless aluminium Ogee profile gutter as per the design guidelines of Montvue

38x38mm batten fixed to wall

This detail should be read in conjunction with the design guidelines of Montvue

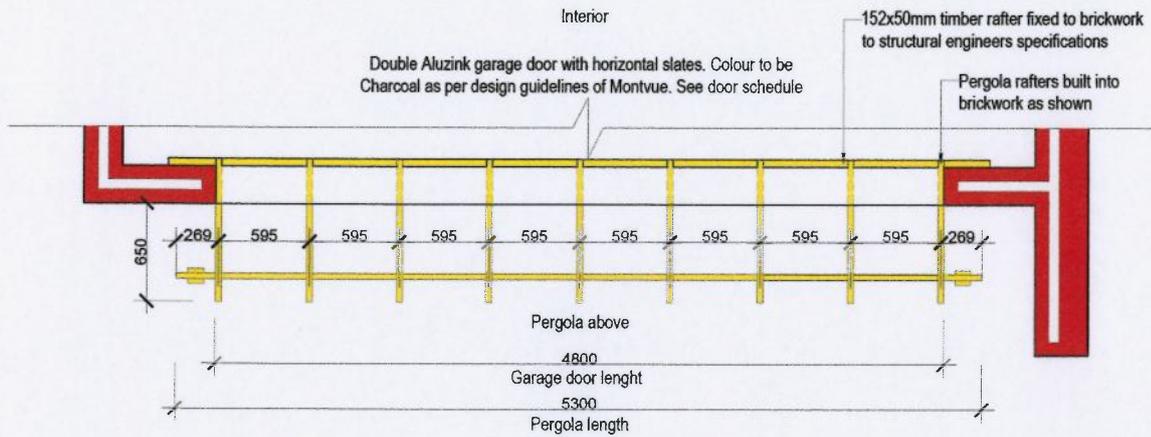


DETAIL 1 - FASCIA DETAIL
Scale 1:10

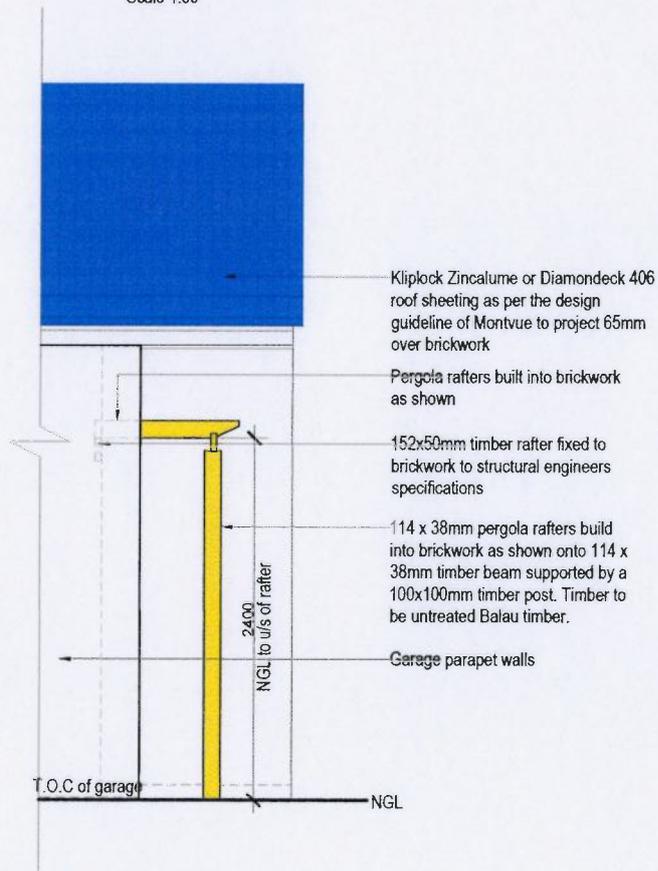
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26. ANNEXURE C.1



TOP VIEW OF GARAGE PERGOLA
Scale 1:50

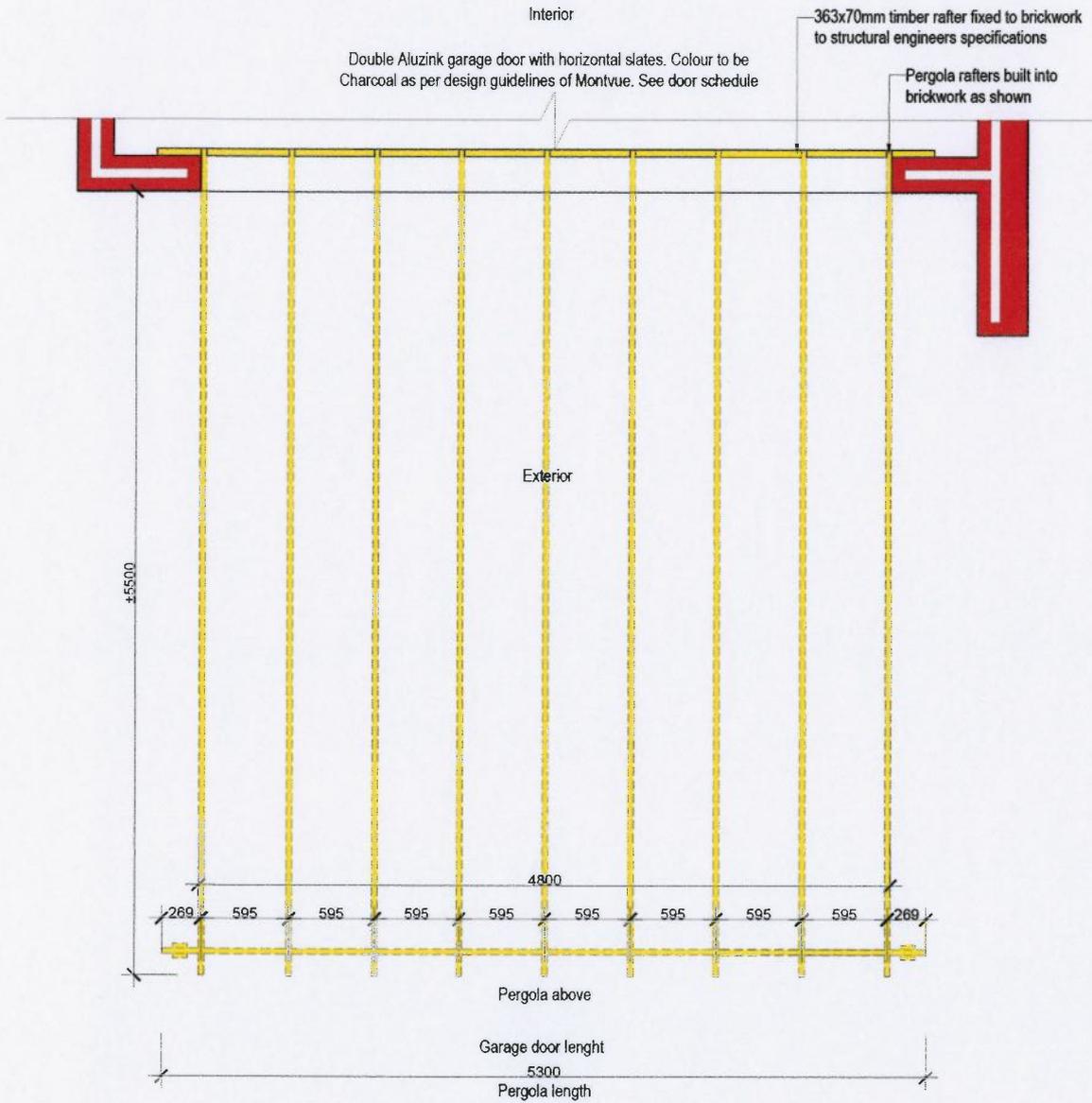


SIDE VIEW OF GARAGE PERGOLA
Scale 1:50

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26. ANNEXURE C.2

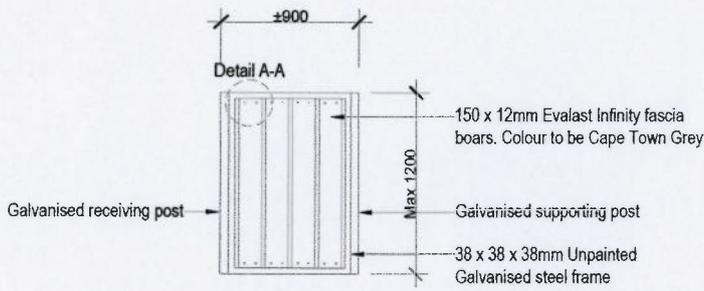


TOP VIEW OF GARAGE CARPORT PERGOLA
Scale 1:50

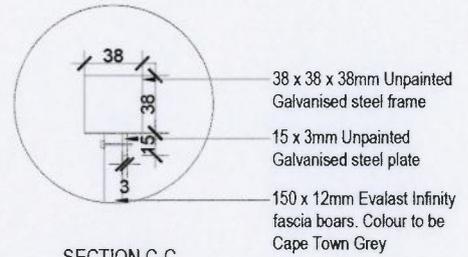
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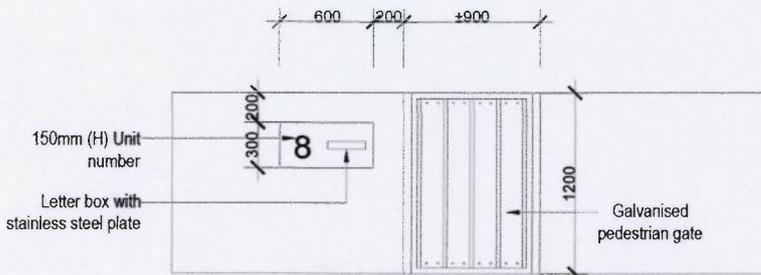
27. ANNEXURE D



FRONT VIEW OF THE PEDESTRIAN GATE
Scale 1:50

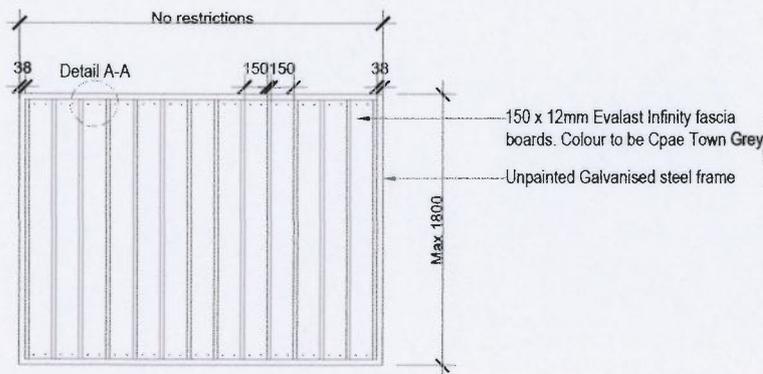


SECTION C-C
Scale 1:10

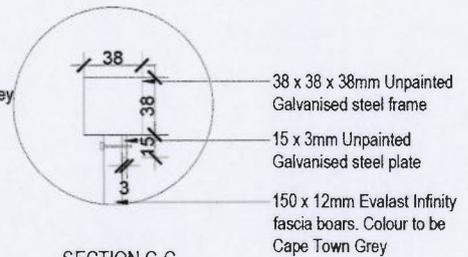


Take particular care of the placement of the post box and unit number. No deviations will be permitted

BOUNDARY WALL ELEVATION
Scale 1:50



FRONT VIEW OF THE DRIVEWAY GATE
Scale 1:50



SECTION C-C
Scale 1:10

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